

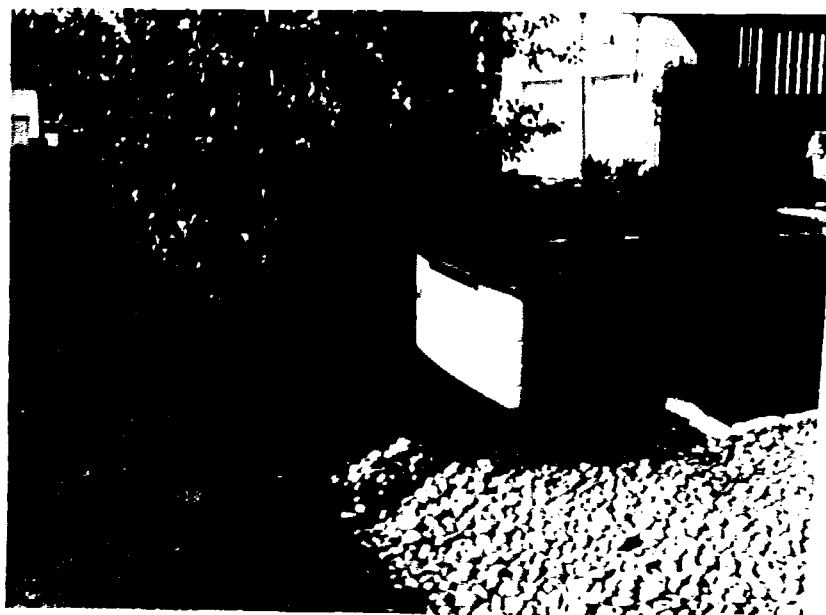
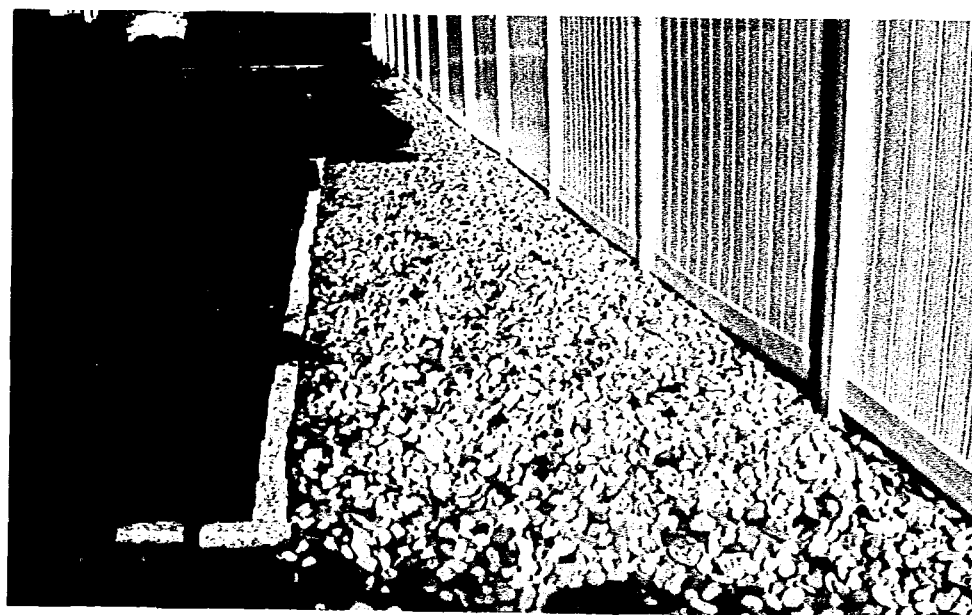
ZB# 07-48

Jeffrey Dunko

77-7-18

ZBA
07-48 Jeffrey Dunko - (77-7-18)
2518 Constitution Way ()

ZONING BOARD OF APPEALS
TOWN OF NEW WINDSOR
555 UNION AVENUE
NEW WINDSOR, N.Y. 12553
Granted 10-22-07





NEW WINDSOR ZONING BOARD OF APPEALS

SBL: 77-7-18

In the Matter of the Application of

MEMORANDUM OF
DECISION GRANTING

JEFFREY DUNKO

AREA

CASE #07-48

WHEREAS, Jeffrey Dunko, owner(s) of 2518 Constitution Way, New Windsor, New York, 12553, has made application before the Zoning Board of Appeals for a/an Request for 4 ft. Side Yard Setback and; 5 ft. Rear Yard Setback for proposed pool at 2518 Constitution Way (The Reserve) in an R-3 Zone (77-7-18)

WHEREAS, a public hearing was held on October 22, 2007 before the Zoning Board of Appeals at the Town Hall, New Windsor, New York; and

WHEREAS, the Applicant appeared on behalf of this Application; and

WHEREAS, there was one spectators appearing at the public hearing; and

WHEREAS, one person spoke in favor of and no one spoke in opposition to the Application; and

WHEREAS, a decision was made by the Zoning Board of Appeals on the date of the public hearing granting the application; and

WHEREAS, the Zoning Board of Appeals of the Town of New Windsor sets forth the following findings in this matter here memorialized in furtherance of its previously made decision in this matter:

1. The notice of public hearing was duly sent to residents and businesses as prescribed by law and published in The Official Town Newspaper, also as required by law.
2. The Evidence presented by the Applicant showed that:
 - (a) The property is a residential property located in a neighborhood of residential properties in an R-3 zone.
 - (b) The applicant seeks to install an above-ground pool in the corner of his property.
 - (c) In constructing the pool, the applicant will not remove any trees or substantial vegetation.

- (d) In constructing the pool , the applicant will not build on top of nor will it interfere with any easements or rights-of-way including, but not limited to, water, sewer and electrical easements
- (e) In constructing the pool, the applicant will not create the ponding or collection of water or divert the flow of water drainage.
- (f) The property is so configured that it has two front yards, although it visually appears to have only one. As a consequence, no matter where the pool is placed, some variance would be required.
- (g) The pool is similar in size and appearance to other pools in the neighborhood.

WHEREAS, The Zoning Board of Appeals of the Town of New Windsor makes the following conclusions of law here memorialized in furtherance of its previously made decision in this matter:

1. The requested variance(s) will not produce an undesirable change in the character of the neighborhood or create a detriment to nearby properties.
2. There is no other feasible method available to the Applicant that can produce the benefits sought.
3. The variance(s) requested is/are substantial in relation to the Town regulations but, nevertheless, are warranted.
4. The requested variance(s) will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or zoning district.
5. The difficulty the Applicant faces in conforming to the bulk regulations is/are self-created but, nevertheless, should be allowed.
6. The benefit to the Applicant, if the requested variance(s) is/are granted, outweighs the detriment to the health, safety and welfare of the neighborhood or community.
7. The requested variance(s) are/is appropriate and are/is the minimum variance(s) necessary and adequate to allow the Applicant relief from the requirements of the Zoning Local Law and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.
8. The interests of justice will be served by allowing the granting of the requested area variance(s).

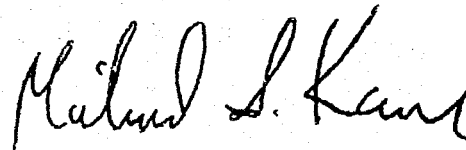
NOW, THEREFORE, BE IT

RESOLVED, that the Zoning Board of Appeals of the Town of New Windsor GRANT a Request for 4 ft. Side Yard Setback and; 5 ft. Rear Yard Setback for proposed pool at 2518 Constitution Way (The Reserve) in an R-3 Zone (77-7-18) as sought by the Applicant in accordance with plans filed with the Building Inspector and presented at the public hearing.

BE IT FURTHER

RESOLVED, that the Secretary of the Zoning Board of Appeals of the Town of New Windsor transmit a copy of this decision to the Town Clerk, Town Planning Board and/or Building Inspector and Applicant.

Dated: October 22, 2007

A handwritten signature in black ink, appearing to read "Michael S. Kaur", is written over a horizontal line.

Chairman

**TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS
OFFICE
845-563-4615**

MEMORANDUM

TO: JACK FINNEGAN, COMPTROLLER
FROM: MYRA MASON, SECRETARY TO THE ZONING BOARD
DATE: 12-28-07
SUBJECT: ESCROW REFUND

**PLEASE ISSUE A CHECK IN THE AMOUNT OF \$ 165.55 TO CLOSE OUT
ESCROW FOR:**

ZBA FILE #07-48

NAME & ADDRESS:

**Jeffrey Dunko
2518 Constitution Way
New Windsor, NY 12553**

THANK YOU,

MYRA

J.F.12-28-07



**TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS
RECORD OF CHARGES & PAYMENTS**



FILE #07-48

TYPE: AREA

TELEPHONE: 567-0414

APPLICANT:

Jeffrey Dunko
2518 Constitution Way
New Windsor, NY 12553

RESIDENTIAL:	\$ 50.00	CHECK # <u>1032</u>
COMMERCIAL	\$ 150.00	CHECK # _____
INTERPRETATION	\$ 150.00	CHECK # _____

ESCROW: RESIDENTIAL \$300.00 CHECK # 1033



<u>DISBURSEMENTS:</u>	<u>MINUTES</u>	<u>ATTORNEY</u>
	<u>\$7.00 / PAGE</u>	<u>FEE</u>

PRELIMINARY:	<u>4</u>	PAGES	\$ <u>28.00</u>	\$ <u>35.00</u>
2 ND PRELIMINARY:	—	PAGES	\$ _____	\$ _____
PUBLIC HEARING:	<u>3</u>	PAGES	\$ <u>21.00</u>	\$ <u>35.00</u>
PUBLIC HEARING:	—	PAGES	\$ _____	\$ _____

LEGAL AD: Publish Date: 10-12-07 \$ 15.45

TOTAL: \$ 64.45 \$ 70.00



ESCROW POSTED: \$ 300.00
LESS: DISBURSEMENTS: \$ 134.45

AMOUNT DUE: \$ _____

REFUND DUE: \$ 165.55

Cc:

J.F. 12-28-07

October 22, 2007

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JEFFREY_DUNKO_(07-48)

MR. KANE: Request for 4 foot side yard setback and 5 foot rear yard setback for proposed pool at 2518 Constitution Way.

Mr. Jeffrey Dunko appeared before the board for this proposal.

MR. DUNKO: Jeffrey Dunko. We're looking to install an 18 foot round pool on the side yard of our property. We don't meet the minimum requirements of a 10 foot clearance on the side and rear yard, we only have about 6 feet and 5 feet so looking for a variance on those dimensions.

MR. KANE: And cutting down any trees, substantial vegetation in the building of the pool?

MR. DUNKO: No, not at all.

MR. KANE: Creating water hazards or runoffs?

MR. DUNKO: No.

MR. KANE: Let the record show that the property is on a corner lot so it has two front yards so anywhere you put this pool you would need a variance.

MR. DUNKO: Exactly.

MR. KANE: And being in that business an 18 round pool is about the third smallest you can get, so really it's not a large pool at all.

MR. DUNKO: Right, we particularly chose the 18 round to try to make it as small as possible to fit in the back corner. We also have a round paver patio and a driveway extension that comes up to it so there's really not a, really no room to move it up away from

the rear yard.

MR. KANE: And you also understand if it passes you still have to meet all the requirements from the building department?

MR. DUNKO: Yes.

MR. KANE: Okay, and I'm sure they told you with the new regulations this year about the pool alarms?

MR. DUNKO: Yes, we actually purchased one or will purchase one. Just as far as you're looking at the pictures there's pavers, Belgian block that goes around, there was an existing play yard, a jungle gym that was there so we're replacing what was existing there with the pool.

MR. TORPEY: Any other pools in the neighborhood?

MR. DUNKO: Yes.

MR. KANE: Any easements running through the area where you want to put the pool?

MR. DUNKO: No.

MR. KANE: At this point, I will open the public portion of the meeting and ask if there's anybody in the audience for this particular hearing?

MS. SMITH-SANDS: I have no problems as long as I can swim it in maybe come over.

MR. KANE: I would need your name and address.

MS. SMITH-SANDS: Oh, sure, Pia, P-I-A first name, last name is Smith-Sands, S-A-N-D-S, 2724 Colonial Drive.

MR. KANE: Anybody else? We'll close the public

October 22, 2007

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portion of the meeting and ask Myra about mailings.

MS. MASON: On October 9, I mailed out 61 addressed envelopes and had no response.

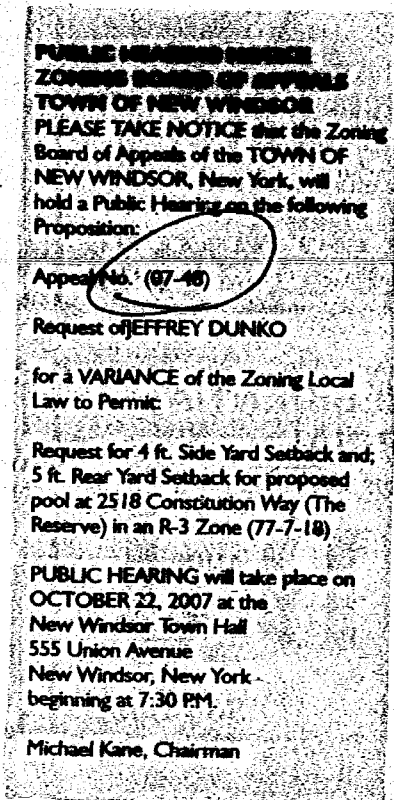
MR. KANE: Any further questions from the board? I'll accept a motion.

MS. GANN: I will offer a motion that we grant Jeffrey Dunko's variance request for 4 foot side yard setback and a 5 foot rear yard setback for a proposed pool.

MS. LOCEY: I'll second that motion.

ROLL CALL

MS. GANN	AYE
MS. LOCEY	AYE
MR. TORPEY	AYE
MR. KANE	AYE



15.45

State of New York

County of Orange, ss:

Kathleen O'Brien being duly sworn disposes and says that she is the Supervisor of Legal Dept. of the E.W. Smith Publishing Company; Inc., Publisher of The Sentinel, a weekly newspaper published and of general circulation in the Town of New Windsor, Town of Newburgh and City of Newburgh and that the notice of which the annexed is a true copy was published in said newspaper, 1 time (s) commencing on the 12th day of Oct. A.D., 2007 and ending on the 12th day of Oct. A.D. 2007

Kathleen O'Brien
Subscribed and shown to before me this 23rd day of Oct., 2007.

Deborah Green
Notary Public of the State of New York
County of Orange.

DEBORAH GREEN
Notary Public, State of New York
Qualified in Orange County
#4984065
Commission Expires July 15, 2011

My commission expires _____.



RESULTS OF Z.B.A. MEETING OF: October 22, 2007

PROJECT: Jeffrey Dunks ZBA # 07-48
PR # _____

P.B.# _____

USE VARNANCE: NEED: EAF PROXY

LEAD AGENCY: M)_____S)_____ VOTE: A____N_____

GANN _____
LUNDSTROM _____
LOCEY _____
TORPEY _____
KANE _____

CARRIED: Y _____ N _____

PUBLIC HEARING: M)_____ S)_____ VOTE: A___ N.____

GANN _____
LUNDSTROM _____
LOCEY _____
TORPEY _____
KANE _____ CARRIED: Y N

NEGATIVE DEC: M) _____ S) _____ VOTE: A _____ N _____

GANN _____
LUNDSTROM _____
LOCEY _____
TORPEY _____
KANE _____ CARRIED: Y _____ N _____

APPROVED: M) S) VOTE: A N

GANN _____
LUNDSTROM _____
LOCEY _____
TORPEY _____
KANE _____

CARRIED: Y N

ALL VARIANCES - PRELIMINARY APPEARANCE:

SCHEDULE PUBLIC HEARING: M)___ S)___ VOTE: A___ N___

GANN _____
LUNDSTROM _____
LOCEY _____
TORPEY _____
KANE _____

CARRIED: Y_____N_____

PUBLIC HEARING: STATEMENT OF MAILING READ INTO MINUTES ✓
VARIANCE APPROVED: M/G S/L VOTE: A 4 N 0.

GANN
~~LEINSTRON~~
LOCEY
TORPEY
KANE

CARRIED: Y ✓ N

Pia Smith-Sands

**ZONING BOARD OF APPEALS: TOWN OF NEW WINDSOR
COUNTY OF ORANGE: STATE OF NEW YORK**

JEFFREY DUNKO

#07-48

STATE OF NEW YORK)
) SS:
COUNTY OF ORANGE)


That I am not a party to the action, am over 18 years of age and reside at 131 Mt. Airy Road, New Windsor, NY 12553.

That on the 91st day of **OCTOBER, 2007**, I compared the **61** addressed envelopes containing the Public Hearing Notice pertinent to this case with the certified list provided by the Assessor's Office regarding the above application for a variance and I find that the addresses are identical to the list received. I then placed the envelopes in a U.S. Depository within the Town of New Windsor.

Sworn to before me this

Myra Mason
Myra L. Mason, Secretary

10th day of October, 2007



Notary Public

JENNIFER GALLAGHER
Notary Public, State of New York
No. 01GA6050024
Qualified in Orange County
Commission Expires 10/30/ 10



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4631
Fax: (845) 563-3101
J. Todd Wiley, IAO

Assessor's Office

September 17, 2007

Jeffrey Dunko
2518 Constitution Way
New Windsor, NY 12553

Re: 77-7-18 ZBA#07-48 (61)

Dear Mr. Dunko:

According to our records the attached list of property owners are within five hundred (500) feet of the above referenced property.

The charge for this service is \$85.00, minus your deposit of \$25.00.

Please remit the balance of \$60.00 to the Town Clerk's Office.

Sincerely,

J. Todd Wiley, IAO
Sole Assessor

JTW/lrd
Attachments

CC: Myra Mason, ZBA

57-1-28
Richard & Christine Ostner
82 Bethlehem Road
New Windsor, NY 12553

64-2-36
Michael & Lisa Lawrence
2633 Liberty Ridge
New Windsor, NY 12553

64-2-37
Kenneth & Melinda Sharp
2631 Liberty Ridge
New Windsor, NY 12553

64-2-38
Juan & Luz Ruiz
2629 Liberty Ridge
New Windsor, NY 12553

64-2-39 & 64-2-48.2 & 77-12-1
Mt. Airy Estates Inc.
C/o Sarna Enterprises
15 Engle Street, Suite 100
Englewood, NJ 07631

77-2-22
Brian & Carole McCue
2718 Colonial Drive
New Windsor, NY 12553

77-2-23
Emanuel & Anelyn Suazo
2720 Colonial Drive
New Windsor, NY 12553

77-2-24
Craig & Valerie Barnes
2722 Colonial Drive
New Windsor, NY 12553

77-2-25
Pia Smith Sands
Charles Sands Jr.
2724 Colonial Drive
New Windsor, NY 12553

77-2-26
Robert & Zoraida Marquez
2726 Colonial Drive
New Windsor, NY 12553

77-2-27
Maria Pippi
David Layne
2728 Colonial Drive
New Windsor, NY 12553

77-6-1
Patrick McNamara
Cecilia Miro
2727 Colonial Drive
New Windsor, NY 12553

77-6-2
Rudolph & Orietta Trocard
2725 Colonial Drive
New Windsor, NY 12553

77-6-3
Elliot Gaztambide
Jennifer Rivera Gaztambide
2723 Colonial Drive
New Windsor, NY 12553

77-6-4
Joseph & Jodi Antonacci
2721 Colonial Drive
New Windsor, NY 12553

77-6-5
Barry & Joanne Washington
2719 Colonial Drive
New Windsor, NY 12553

77-6-6
Brian & Dianna McLean
2717 Colonial Drive
New Windsor, NY 12553

77-6-7
Harvey Mathis
Lydia Alvarez
2715 Colonial Drive
New Windsor, NY 12553

77-6-8
Michael & Michelle Thomas
2713 Colonial Drive
New Windsor, NY 12553

77-6-21
Francisco Soto Jr.
Cynthia Diaz
2614 Liberty Ridge
New Windsor, NY 12553

77-6-22
Jeri & Cheryl Kocik
2616 Liberty Ridge
New Windsor, NY 12553

77-6-23
Edward & Regina Davis
2618 Liberty Ridge
New Windsor, NY 12553

77-6-24
Irina Simkovich
2620 Liberty Ridge
New Windsor, NY 12553

77-6-25
Joseph & Victoria Pecoraro
2622 Liberty Ridge
New Windsor, NY 12553

77-6-26
Mark Monte
Jocelyn Pacatang
2624 Liberty Ridge
New Windsor, NY 12553

77-6-27
Charles Grady
Emily Smith
2626 Liberty Ridge
New Windsor, NY 12553

77-6-28
Arjun Singh
2628 Liberty Ridge
New Windsor, NY 12553

77-7-1
Robert & Alma Aponte
2625 Liberty Ridge
New Windsor, NY 12553

77-7-2
Amunatequi & Ana Rosario
2623 Liberty Ridge
New Windsor, NY 12553

77-7-3
Nadia Seewah
Vidia Roopchand
2621 Liberty Ridge
New Windsor, NY 12553

77-7-4
Todd & Kelly Belanger
2619 Liberty Ridge
New Windsor, NY 12553

77-7-5
Marc Valentino
Colleen Garvey
2617 Liberty Ridge
New Windsor, NY 12553

77-7-6
Kenneth & Annette McTigue
2615 Liberty Ridge
New Windsor, NY 12553

77-7-13
Rooma Dua
2508 Constitution Way
New Windsor, NY 12553

77-7-14
Patrick Mannion
2510 Constitution Way
New Windsor, NY 12553

77-7-15
Earl & Latoya Rattray
2512 Constitution Way
New Windsor, NY 12553

77-7-16
Keith Holloway
2514 Constitution Way
New Windsor, NY 12553

77-7-17
Christine & Kevin Brelesky
2516 Constitution Way
New Windsor, NY 12553

77-8-1
Fausto & Awilda Fienco
2519 Constitution Way
New Windsor, NY 12553

77-8-2
Ragotham & Faustin Venkatesh
2517 Constitution Way
New Windsor, NY 12553

77-8-3
Ernest & Germaine Brown
2515 Constitution Way
New Windsor, NY 12553

77-8-4
Jeffrey & Lore Hannes
2513 Constitution Way
New Windsor, NY 12553

77-8-5
Clementina Imobhio
168 Hillside Avenue
Mt. Vernon, NY 10553

77-8-6
Rodney & Sophia Goitia
2509 Constitution Way
New Windsor, NY 12553

77-8-7
Joseph & Clotude Merot
2507 Constitution Way
New Windsor, NY 12553

77-8-15
Jason & Grace Vazquez
2410 Settlers Ridge
New Windsor, NY 12553

77-8-16
Ming Qiang Wang
Zhao Lin
2412 Settlers Ridge
New Windsor, NY 12553

77-8-17
Dashawn & Damaris Jones
2414 Settlers Ridge
New Windsor, NY 12553

77-8-18
Ronald Yeadon
2416 Settlers Ridge
New Windsor, NY 12553

77-8-19
L. Brett Herzog
2418 Settlers Ridge
New Windsor, NY 12553

77-8-20
Inez Cooper
2420 Settlers Ridge
New Windsor, NY 12553

77-11-1
Ronald & Sabrina Pean
2411 Settlers Ridge
New Windsor, NY 12553

77-11-2
Ryan & Kerry Fitzgerald
2413 Settlers Ridge
New Windsor, NY 12553

77-11-3
Richard & Tammy Evans
2415 Settlers Ridge
New Windsor, NY 12553

77-11-4
Victor Riech
Lois Lugo Reich
2417 Settlers Ridge
New Windsor, NY 12553

77-11-5
Erol Ozkural
2419 Settlers Ridge
New Windsor, NY 12553

77-11-6
Louella Gonsalves
2421 Settlers Ridge
New Windsor, NY 12553

77-11-7
Jose Rodriguez
Shantella Bailey
2423 Settlers Ridge
New Windsor, NY 12553

77-11-8
Santos & Juana Sepulveda
2425 Settlers Ridge
New Windsor, NY 12553

77-11-9
Nanjappa Vasudeva
2427 Settlers Ridge
New Windsor, NY 12553

77-11-10
Angela Roman
Sonia Guzman
2429 Settlers Ridge
New Windsor, NY 12553

PUBLIC HEARING NOTICE
ZONING BOARD OF APPEALS
TOWN OF NEW WINDSOR

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the TOWN OF NEW WINDSOR, New York, will hold a Public Hearing on the following Proposition:

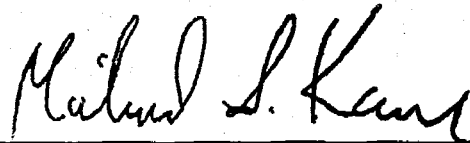
Appeal No. (07-48)

Request of JEFFREY DUNKO

for a VARIANCE of the Zoning Local Law to Permit:

Request for 4 ft. Side Yard Setback and; 5 ft. Rear Yard Setback for proposed pool at 2518 Constitution Way (The Reserve) in an R-3 Zone (77-7-18)

PUBLIC HEARING will take place on OCTOBER 22, 2007 at the New Windsor Town Hall, 555 Union Avenue, New Windsor, New York beginning at 7:30 P.M.

A handwritten signature in black ink, appearing to read "Michael S. Kane", written over a horizontal line.

Michael Kane, Chairman

September 10, 2007

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JEFFREY_DUNKO_(07-48)

MS. GANN: Okay, we're going to ask you to restate the reason why you're here this evening. This request is for 4 foot side yard setback and 5 foot rear yard setback for proposed pool at 2518 Constitution Way (The Reserve).

MR. DUNKO: Jeffrey Dunko, 2518 Constitution Way.

MS. GANN: Tell us why you're here, Jeff.

MR. DUNKO: I'm here to look into putting an above-ground pool on my property. The town requires 10 foot minimum property guidelines and I only have about 6, we're just looking for a variance for the pool to go forward with that. The one side I can probably meet the 10 foot, the other side I definitely can't, it's about 6 feet.

MS. GANN: Is this for an in-ground pool or above-ground?

MR. DUNKO: Above-ground.

MS. GANN: Can you step forward, please? Is it going in this area right here?

MR. DUNKO: Exactly, remove that playground and mulch and that's exactly where it's going to go.

MS. GANN: Is this attached to the home?

MS. GANN: No, no, I have the 10 foot between the home and the pool that's required.

MS. GANN: So Mike, why is he here?

MR. BABCOCK: He needs, the pool is going to be 6 foot from the side yard required to be 10 and 5 foot from

September 10, 2007

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the rear yard required to be 10.

MR. DUNKO: The one picture--

MR. TORPEY: Last picture shows it better.

MR. DUNKO: Yeah, this is the one, well, this is going to come right to here, this is only 6 feet so I need 4 foot here on the other side.

MS. GANN: So I'm going to ask you some questions and according to the pictures looks as though it may not be an issue. Will you be taking down any substantial vegetation?

MR. DUNKO: No.

MS. GANN: Will you be going over any easements in the building of the pool?

MR. DUNKO: No.

MS. GANN: Will this create any water hazards?

MR. DUNKO: No.

MS. GANN: Is the pool similar in size to other pools that are in your neighborhood?

MR. DUNKO: Yes.

MS. GANN: Any other questions from the board?

MR. LUNDSTROM: I have one, Jeff, you mentioned that the pool will be 10 feet away from the house as required. Mike, is that correct?

MR. BABCOCK: That's correct.

MR. LUNDSTROM: Cause one of the other questions I

September 10, 2007

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would have instead of 10 foot if it were 8 or would that reduce the need for a side or rear yard variance or does one take precedence over the other?

MR. DUNKO: It would probably help with the side but as far as the back yard variance it probably wouldn't, it would probably impede on the house variance.

MR. LUNDSTROM: Are you saying the house variance being what?

MR. DUNKO: Ten feet, if I moved it up 4 feet then probably would not meet the 10 foot.

MR. LUNDSTROM: That was my question to the building inspector, might that be a consideration for the variance that might limit some of the impact to the others? Again, food for thought.

MR. BABCOCK: I don't have an accurate, I have a survey here but I don't have the measurements of how far it actually is from the house, would it actually do to move it up, I guess we could calculate that.

MR. LUNDSTROM: Might be a consideration for the public hearing portion of it.

MR. DUNKO: Okay.

MS. GANN: Any other questions from the board? I'll accept a motion.

MR. LUNDSTROM: Madam Chairman, I will offer a motion for a public hearing for the application of Mr. Jeff Dunko regarding the variance as set forth in the agenda of the Zoning Board of Appeals, Town of New Windsor agenda date is September 10, 2007.

MR. TORPEY: I'll second that.

September 10, 2007

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ROLL CALL

MR. LUNDSTROM	AYE
MR. TORPEY	AYE
MS. GANN	AYE

Town of New Windsor

555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT #701-2007

09/13/2007

Dunko, Jeffrey
2518 Constitution Way
New Windsor, NY 12553

Received \$ 50.00 for Zoning Board Fees, on 09/13/2007. Thank you
for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

ZBA# 07-46 application

TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS
RECEIPT OF ESCROW RECEIVED:

DATE RECEIVED: 09-10-07

FOR: 07-48 ESCROW

FROM:

Jeffrey Dunko
2518 Constitution Way
New Windsor, NY 12553

CHECK FROM:
SAME

CHECK NUMBER: 1033

TELEPHONE: 567-0414

AMOUNT: 300.00

RECEIVED AT COMPTROLLER'S OFFICE BY:

J. Funnery 9-17-07
NAME DATE

PLEASE RETURN ONE SIGNED COPY TO MYRA FOR FILING

28A 07-48 ESCROW		1-2 210		1033
JEFFREY A. DUNKO 567-0414		6800336129		
AMY J. DUNKO		DATE 9/20/07		
2518 CONSTITUTION WAY				
NEW WINDSOR, NY 12553-4919				
PAY TO THE ORDER OF Town of New Windsor		\$ 300.00		
Three hundred and 00/100		DOLLARS		
CHASE				
JPMorgan Chase Bank, N.A.				
New York, New York 10017				
www.Chase.com				
MEMO				
00210000210		6800336129		1033

RESULTS OF Z.B.A. MEETING OF:

September 10, 2007

PROJECT:

Jeffrey Dunko

ZBA #

07-48

P.B.#

USE VARIANCE:

NEED: EAF

PROXY

LEAD AGENCY: M) S) VOTE: A N

GANN _____
 LUNDSTROM _____
 LOCEY _____
 TORPEY _____
 KANE _____

CARRIED: Y N

PUBLIC HEARING: M) S) VOTE: A N

GANN _____
 LUNDSTROM _____
 LOCEY _____
 TORPEY _____
 KANE _____

CARRIED: Y N

NEGATIVE DEC: M) S) VOTE: A N

GANN _____
 LUNDSTROM _____
 LOCEY _____
 TORPEY _____
 KANE _____

CARRIED: Y N

APPROVED: M) S) VOTE: A N

GANN _____
 LUNDSTROM _____
 LOCEY _____
 TORPEY _____
 KANE _____

CARRIED: Y N

ALL VARIANCES - PRELIMINARY APPEARANCE:

SCHEDULE PUBLIC HEARING:

M) Lu S) TVOTE: A 3 N 0

GANN A
 LUNDSTROM A
 LOCEY _____
 TORPEY A
 KANE _____

CARRIED: Y ☒ N

PUBLIC HEARING:

STATEMENT OF MAILING READ INTO MINUTES

VARIANCE APPROVED:

M) S) VOTE: A N

GANN _____
 LUNDSTROM _____
 LOCEY _____
 TORPEY _____
 KANE _____

CARRIED: Y N

Sept. 10, 2007 Meeting

TOWN OF NEW WINDSOR
REQUEST FOR NOTIFICATION LIST

CHECKED BY MYRA: 09-10-07 mm

DATE: 09-11-07 PROJECT NUMBER: ZBA# 07-48 P.B. # _____

APPLICANT NAME: JEFFREY DUNKO

PERSON TO NOTIFY TO PICK UP LIST:

Jeffrey Dunko
2518 Constitution Way
New Windsor, NY 12553

TELEPHONE: 567-0414

TAX MAP NUMBER: SEC. 77 BLOCK 7 LOT 18
SEC. _____ BLOCK _____ LOT _____
SEC. _____ B LOCK _____ LOT _____

PROPERTY LOCATION: SAME

LIST OF PROPERTY OWNERS WITHIN 500 FT. FOR SITE PLANS/SUBDIVISION _____
(IS NOT PREPARED ON LABELS)

❖ ❖

THIS LIST IS BEING REQUESTED BY:

NEW WINDSOR PLANNING BOARD: _____

SITE PLAN OR SUBDIVISION: (ABUTTING AND ACROSS ANY STREET) _____

SPECIAL PERMIT ONLY: (ANYONE WITHIN 500 FEET) _____

AGRICULTURAL DISTRICT:
(ANYONE WITHIN THE AG DISTRICT WHICH IS WITHIN 500'
OF SITE PLAN OR SUBDIVISION PROJECT) _____

❖ ❖

NEW WINDSOR ZONING BOARD XXX

LIST WILL CONSIST OF ALL PROPERTY WITHIN 500 FEET OF PROJECT XXX

❖ ❖

AMOUNT OF DEPOSIT: 25.00 CHECK NUMBER: 1034

TOTAL CHARGES: _____

**OFFICE OF THE BUILDING INSPECTOR
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK**

NOTICE OF DISAPPROVAL OF BUILDING PERMIT APPLICATION

**APPLICANT IS TO PLEASE CONTACT THE ZONING BOARD SECRETARY AT (845) 563-4630 TO
MAKE AN APPOINTMENT WITH THE ZONING BOARD OF APPEALS.**

DATE: August 1, 2007

**APPLICANT: Jeffrey Dunko
2518 Constitution Way
New Windsor, NY 12553**

PLEASE TAKE NOTICE THAT YOUR APPLICATION DATE: 07/30/07

FOR: Proposed 52" Above Ground Pool

LOCATED AT: 2518 Constitution Way, New Windsor, NY 12553

ZONE: R-3 Sec/Blk/ Lot: 77-7-18

DESCRIPTION OF EXISTING SITE: One Family House

IS DISAPPROVED ON THE FOLLOWING GROUNDS:

- 1. Proposed pool will not meet minimum 10' rear and 10' side yard set-back.**


BUILDING INSPECTOR

	PERMITTED	PROPOSED OR AVAILABLE:	VARIANCE REQUEST:
ZONE: R-3 USE: Bulk Tables			
MIN LOT AREA:			
MIN LOT WIDTH:			
REQ'D FRONT YD:			
REQ'D SIDE YD: 300-24- (A)	10'	6'	4'
REQ'D TOTAL SIDE TD:			
REQ'D REAR YD: 300-24 (A)	10'	5'	5'
REQ'D FRONTAGE:			
MAX BLDG HT:			
FLOOR AREA RATIO:			
MIN LIVABLE AREA:			
DEV COVERAGE:			

cc: Z.B.A., APPLICANT, FILE, W/ ATTACHED MAP

PLEASE ALLOW FIVE TO TEN DAYS TO PROCESS
IMPORTANT
YOU MUST CALL FOR ALL REQUIRED INSPECTIONS OF CONSTRUCTION

Other inspections will be made in most cases but those listed below must be made or Certificate of Occupancy may be withheld. Do not mistake an unscheduled inspection for one of those listed below. Unless an inspection report is left on the job indicating approval of one of these inspections it has not been approved and it is improper to continue beyond that point in the work. Any disapproved work must be reinspected after correction.

1. When excavating is complete and footing forms are in place (before pouring.)
2. Foundation inspection. Check here for waterproofing and footing drains.
3. Inspect gravel base under concrete floors and underslab plumbing.
4. When framing, rough plumbing, rough electric and before being covered.
5. Insulation.
6. Final inspection for Certificate of Occupancy. Have on hand electrical inspection data and final certified plot plan. Building is to be completed at this time. Well water test required and engineer's certification letter for septic system required.
7. Driveway inspection must meet approval of Town Highway Superintendent. A driveway bond may be required.
8. \$50.00 charge for any site that calls for the inspection twice.
9. Call 24 hours in advance, with permit number and Tax Parcel ID #, to schedule inspection.
10. There will be no inspections unless yellow permit card is posted.
11. Water and Sewer permits must be obtained along with building permits for new houses.
12. Septic permit must be submitted with engineer's drawing and perc test.
13. Road opening permits must be obtained from Town Clerk's office.
14. All building permits will need a Certificate of Occupancy or a Certificate of Compliance and there is no fee for this.

RECEIVED

JUL 30 2007

FOR OFFICE USE ONLY:
Building Permit #: 2007-676

AFFIDAVIT OF OWNERSHIP AND/OR CONTRACTOR'S COMP. DISABILITY & LIABILITY INSURANCE
CERTIFICATES ARE REQUIRED BEFORE THE BUILDING PERMIT APPLICATION WILL BE ACCEPTED AND/OR
ISSUED

PLEASE PRINT CLEARLY - FILL OUT ALL INFORMATION WHICH APPLIES TO YOU

Owner of Premises Jeff & Amy Dunko

Address 2518 Constitution Way, New Windsor Phone # 567-0414

Mailing Address same Fax # _____

Name of Architect _____

Address _____ Phone _____

Name of Contractor Orange County Pools

Address 275 Windsor Hwy New Windsor Phone 565-5777

State whether applicant is owner, lessee, agent, architect, engineer or builder owner

If applicant is a corporation, signature of duly authorized officer. _____
(Name and title of corporate officer)

1. On what street is property located? On the W side of Constitution Way
(N,S,E or W)
and 0 feet from the intersection of Settlers Ridge / Constitution.

2. Zone or use district in which premises are situated _____ Is property a flood zone? Y _____ N X

3. Tax Map Description: Section 77 Block 7 Lot 18

4. State existing use and occupancy of premises and intended use and occupancy of proposed construction.

a. Existing use and occupancy residential b. Intended use and occupancy _____

5. Nature of work (check if applicable) ☐ New Bldg. ☐ Addition ☐ Alteration ☐ Repair ☐ Removal ☐ Demolition ☒ Other

6. Is this a corner lot? yes

Pool
18x54
Round

7. Dimensions of entire new construction. Front _____ Rear _____ Depth _____ Height _____ No. of stories _____

8. If dwelling, number of dwelling units: 1 Number of dwelling units on each floor 0

Number of bedrooms 4 Baths 3 Toilets 3 Heating Plant: Gas yes Oil _____

Electric/Hot Air yes Hot Water _____ If Garage, number of cars 2

9. If business, commercial or mixed occupancy, specify nature and extent of each type of use _____

10. Estimated cost _____ Fee \$50 - ch # 1027

PAID ZONING BOARD

date

APPLICATION FOR BUILDING PERMIT
TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK
Pursuant to New York State Building Code and Town Ordinances

Building Inspector: Michael L. Babcock
Asst. Inspectors: Frank Liel & Louis Krychear
New Windsor Town Hall
555 Union Avenue
New Windsor, New York 12553
(845) 563-4818
(845) 563-4695 FAX

Bldg Insp Examined _____
Fire Insp Examined _____
Approved _____
Disapproved _____
Permit No. _____

INSTRUCTIONS

- A. This application must be completely filled in by typewriter or in ink and submitted to the Building Inspector.
- B. Plot plan showing location of lot and buildings on premises, relationship to adjoining premises or public streets or areas, and giving a detailed description of layout of property must be drawn on the diagram, which is part of this application.
- C. This application must be accompanied by two complete sets of plans showing proposed construction and two complete sets of specifications. Plans and specifications shall describe the nature of the work to be performed, the materials and equipment to be used and installed and details of structural, mechanical and plumbing installations.
- D. The work covered by this application may not be commenced before the issuance of a Building Permit.
- E. Upon approval of this application, the Building Inspector will issue a Building Permit to the applicant together with approved set of plans and specifications. Such permit and approved plans and specifications shall be kept on the premises, available for inspection throughout the progress of the work.
- F. No building shall be occupied or used in whole or in part for any purpose whatever until a Certificate of Occupancy shall have been granted by the Building Inspector.

APPLICATION IS HEREBY MADE to the Building Inspector for the issuance of a Building Permit pursuant to the New York Building Construction Code Ordinances of the Town of New Windsor for the construction of buildings, additions, or alterations, or for removal or demolition or use of property as herein described. The applicant agrees to comply with all applicable laws, ordinances, regulations and certifies that he is the owner or agent of all that certain lot, piece or parcel of land and/or building described in this application and if not the owner, that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application.

(Signature of Applicant)

(Address of Applicant)

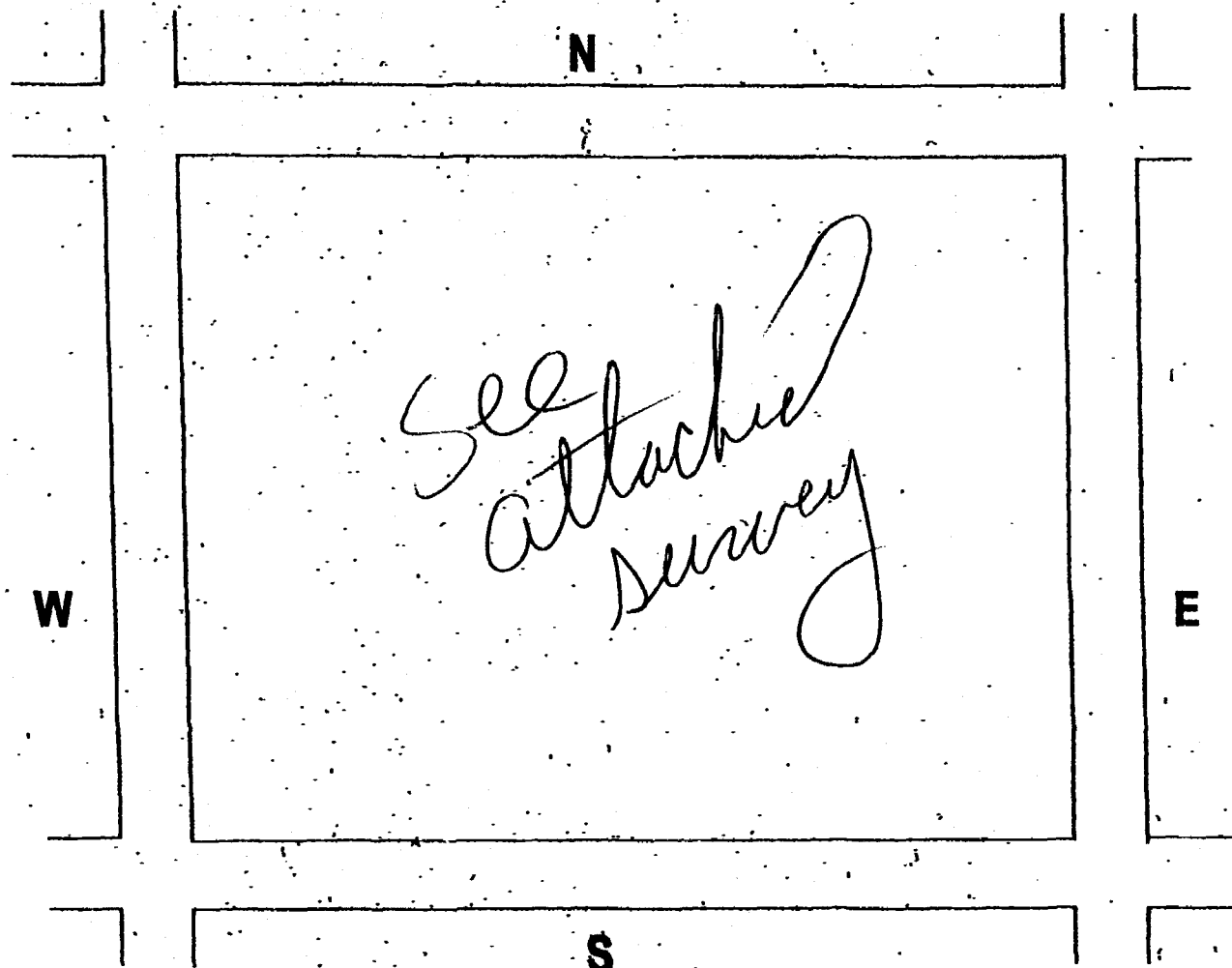
(Owner's Signature)

(Owner's Address)

PLOT PLAN

NOTE:

Locate all buildings and indicate all set back dimensions. Applicant must indicate the building line or lines clearly and distinctly on the drawings.



SETTLERS RIDGE
(UNDER CONSTRUCTION)

R= 20.00' L= 33.35'
C.B.= 35°-05'-27" W
C.D.= 29.62'

R= 209.24' L= 53.18'
C.B.= N 19°-57'-18" E
C.D.= 53.04'

N 27°-14'-12" W
28.06'

S 82°-51'-17" E

125.42'

F.M. LOT

18

Pool
18'

2 STORY
FRAMED
DWELLING

SETBACK LINES

SIDEWALK

PAVED DRIVE

126.91'
N 82°-51'-17" W

00.00'
S 07°-08'-43" W

F.M. LOT

17

CONSTITUTION WAY

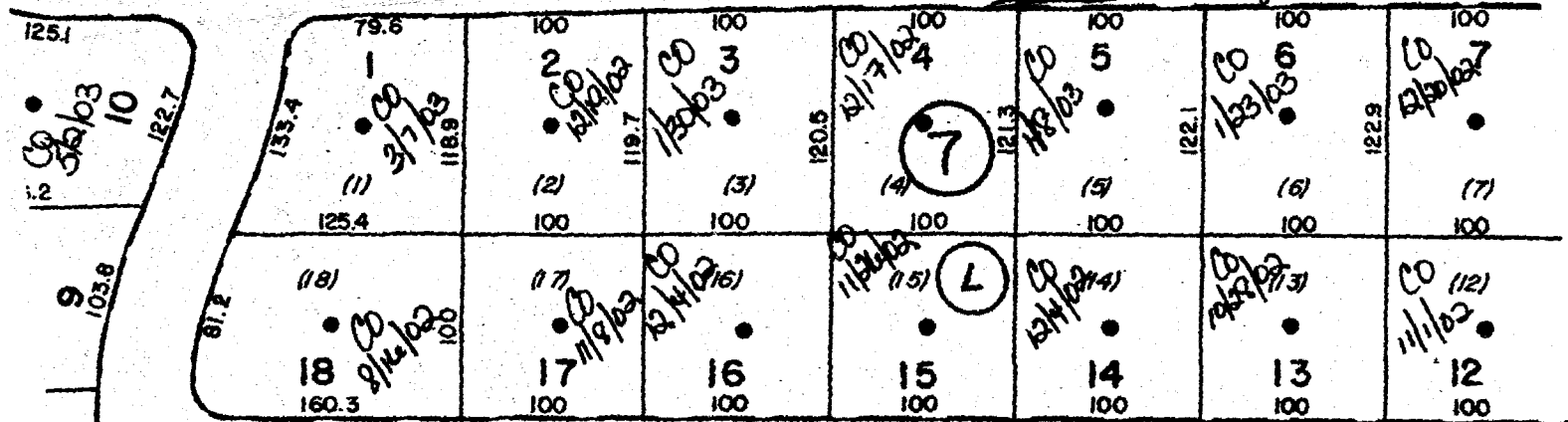
(UNDER CONSTRUCTION)

FACE OF CURB

G

Liberty Ridge STREET

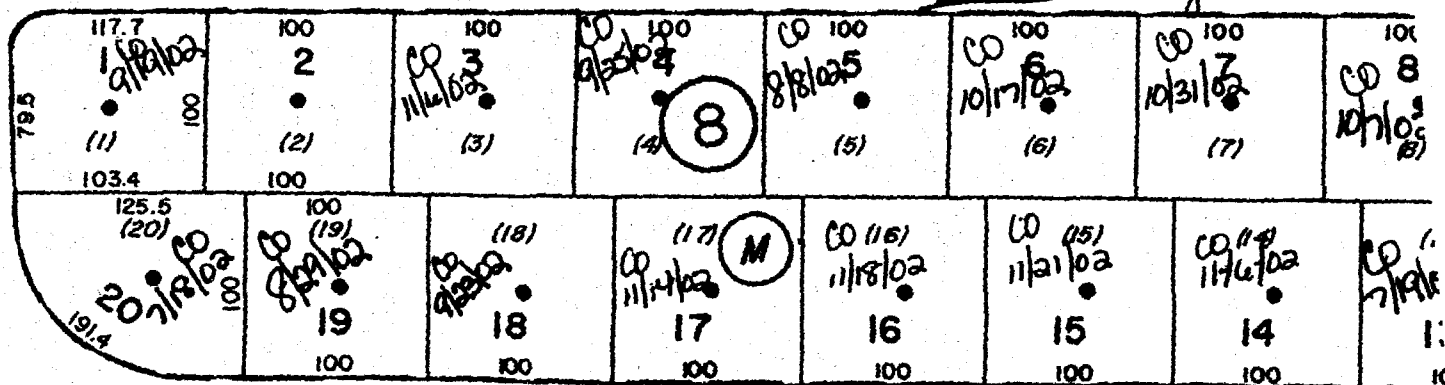
STREET



K

Constitution Way STREET

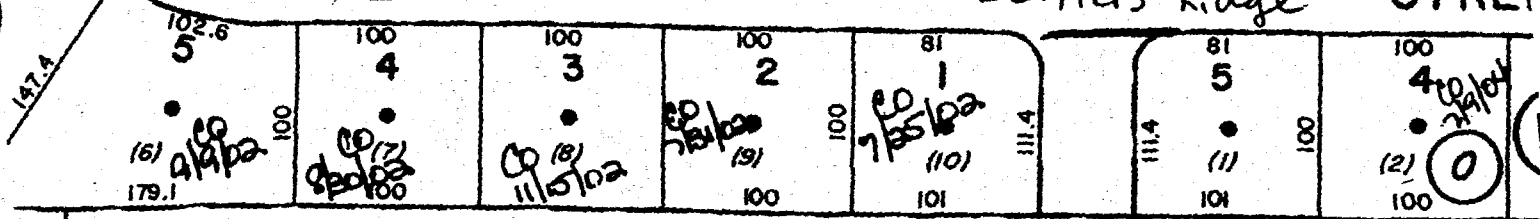
Way STREET



L

Settlers Ridge STREET

STRE



SECTION

65

LEGEND

FILED PLAN LOT LINE		TAX MAP BLOCK NO.	4	FILE
EASEMENT LINE		TAX MAP PARCEL NO.	32	FILE
ARFAS		(DEED) 11.1A (CALCULATED) 11.6A(C)		ST



TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS



9/10

APPLICATION FOR VARIANCE

8/20/07
Date

Application Type: Use Variance ☐ Area Variance ☒
Sign Variance ☐ Interpretation ☐

I.

Owner Information:

e-mail address: jdunko@hvc.rr.com

Phone Number: (845) 567-0414

Fax Number: ()

Jeff and Amy Dunko
(Name)

2518 Constitution Way New Windsor NY
(Address)

II.

Applicant:

e-mail address: _____

Phone Number: ()

Fax Number: ()

Same
(Name)

(Address)

III.

Forwarding Address, if any, for return of escrow:

Phone Number: ()

Fax Number: ()

Same
(Name)

(Address)

IV.

Contractor/Engineer/Architect/Surveyor/:

Phone Number (845) 565-5777

Fax Number: (845) 565-5747

Orange County Pools.
(Name)

275 Windsor Hwy, New Windsor, NY
(Address)

V.

Property Information:

Zone: R-3 Property Address in Question: 2518 Constitution Way

Lot Size: .32 AC Tax Map Number: Section 77 Block 7 Lot 18

a. Is pending sale or lease subject to ZBA approval of this Application? NO

b. When was property purchased by present owner? 8/16/02 CO

c. Has property been subdivided previously? NO If so, When: _____

d. Has an Order to Remedy Violation been issued against the property by the Building/Zoning/Fire Inspector? NO

****PLEASE NOTE:*****

THIS APPLICATION, IF NOT FINALIZED, EXPIRES ONE YEAR FROM THE DATE OF SUBMITTAL.

**TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS**

APPLICATION FOR VARIANCE - continued

VIII. AREA VARIANCE: (This information will be on your Building Department Disapproval form you receive)

Area Variance requested from New Windsor Zoning Local Law,

	<u>Requirements</u>	<u>Proposed or Available</u>	<u>Variance Request</u>
Min. Lot Area			
Min. Lot Width			
Reqd. Front Yd.			
Reqd. Side Yd. ↘	10'	6'	4'
Reqd. Rear Yd. ↘	10'	5'	5'
Reqd. St Front*			
Max. Bldg. Hgt.			
Min. Floor Area*			
Dev. Coverage*			
Floor Area Ration**			
Parking Area			

*Residential Districts Only

**Non-Residential Districts Only

PLEASE NOTE:

THIS APPLICATION, IF NOT FINALIZED, EXPIRES ONE YEAR FROM THE DATE OF SUBMITTAL.

**TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS**

APPLICATION FOR VARIANCE - continued

- IX. **In making its determination, the ZBA shall take into consideration, among other aspects, the benefit to the applicant if the variance is granted as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. Also, whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.

PLEASE ANSWER EACH OF THE FOLLOWING QUESTIONS SPECIFICALLY:

1. Whether the benefit sought by the applicant can be achieved by some other method feasible for the applicant to pursue other than an area variance; NO - Area for above ground pool is a defined playground area.
2. Whether the requested area variance is substantial; NO - Above ground pool is 18' round and does not require variance for full length of property line.
3. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; NO - Side pty already has two trees and rear fence.
4. Whether the alleged difficulty was self-created. No

****After reading the above paragraph, please describe why you believe the ZBA should grant your application for an Area Variance:**

As shown in the photos provided the area requiring a variance is already landscaped with trees and rear fence. Placement of pool would replace existing playset. Thank You!

PLEASE NOTE:

THIS APPLICATION, IF NOT FINALIZED, EXPIRES ONE YEAR FROM THE DATE OF SUBMITTAL.

XII. ADDITIONAL COMMENTS:

- (a) Describe any conditions or safeguards you offer to ensure that the quality of the zone and neighboring zones is maintained or upgraded and that the intent and spirit of the New Windsor Zoning Local Law is fostered. (Trees, landscaped, curbs, lighting, paving, fencing, screening, sign limitations, utilities, drainage.)
-
-

XIII. ATTACHMENTS REQUIRED:

- ☐ Copy of contract of sale, lease or franchise agreement. Copy of deed and title policy.
- ☐ Copy of site plan or survey (if available) showing the size and location of the lot, buildings, facilities, utilities, access drives, parking areas, trees, landscaping, fencing, screening, signs, curbs, paving and streets within 200 ft. of the lot in question.
- ☐ Copies of signs with dimensions and location.
- ☐ Three checks: (each payable to the TOWN OF NEW WINDSOR)
- ☐ One in the amount of \$ 300.00 or 500.00 (escrow)
- ☐ One in the amount of \$ 50.00 or 150.00 (application fee)
- ☐ One in the amount of \$ 25.00 (Public Hearing List Deposit)
- ☐ Photographs of area that variance(s) is/are being requested for showing relationship to property lines (5 or 6) from several angles. (IF SUBMITTING DIGITAL PHOTOS PRINTED FROM COMPUTER - PLEASE SUBMIT FOUR (4) SETS OF THE PHOTOS.)

XIV. AFFIDAVIT.

STATE OF NEW YORK)

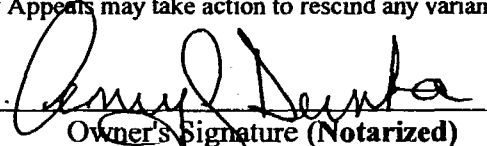
) SS.:

COUNTY OF ORANGE)

The undersigned applicant, being duly sworn, deposes and states that the information, statements and representations contained in this application are true and accurate to the best of his/her knowledge or to the best of his/her information and belief. The applicant further understands and agrees that the Zoning Board of Appeals may take action to rescind any variance granted if the conditions or situation presented herein are materially changed.

Sworn to before me this:

20 day of August 2007


Owner's Signature (Notarized)

Amy Dunko 288-252-106
Owner's Name (Please Print)

MARY ANN HOTALING
Notary Public, State of New York
No. 01H05062877
Qualified in Orange County
Commission Expires July 8, 2010


Signature and Stamp of Notary

Applicant's Signature (If not Owner)

PLEASE NOTE:

THIS APPLICATION, IF NOT FINALIZED, EXPIRES ONE YEAR FROM THE DATE OF SUBMITTAL.

PROJECT I.D. NUMBER

617.21

SEQR

Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR <u>Jeff and Amy Dunko</u>	2. PROJECT NAME <u>Above ground Pool</u>
3. PROJECT LOCATION: Municipality _____ County <u>Orange</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <u>2518 Constitution Way</u> <u>(survey map provided)</u>	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <u>Installation of above ground pool.</u>	
7. AMOUNT OF LAND AFFECTED: Initially <u>432 sq ft.</u> Ultimately <u>18' round</u>	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>Jeff and Amy Dunko</u>	Date: <u>8/20/07</u>
Signature: <u>[Signature]</u>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.	
<input type="checkbox"/> Yes	<input type="checkbox"/> No
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.	
<input type="checkbox"/> Yes	<input type="checkbox"/> No
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)	
C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:	
C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:	
C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:	
C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:	
C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:	
C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:	
C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:	
D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?	
<input type="checkbox"/> Yes	<input type="checkbox"/> No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

<input type="checkbox"/> Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:	
Name of Lead Agency	
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (If different from responsible officer)
Date	